

- NOTE:
- DETAIL INFORMATION FOR SITE PLAN DIMENSIONS REFER TO "G-1.2_023118"
 - DETAIL INFORMATION FOR LOCALITY REFER TO "G-2.1_023118" TO "G-2.2_023118"
 - DETAIL INFORMATION FOR BATTERY STORAGE CONTAINER REFER TO "G-3.0_023118"
 - DETAIL INFORMATION FOR CENTRAL INVERTER REFER TO "G-4.0_023118"
 - DETAIL INFORMATION FOR ACOUSTIC BARRIER REFER TO "G-5.0_023118"
 - DETAIL INFORMATION FOR SECURITY FENCE AND LANDSCAPED AREA REFER TO "G-6.0_023118"

LEGEND			
	SITE ACCESS GATE AND ROAD		UPGRADED ACCESS (GRAVEL CONDITIONS)
	BATTERY		EXISTING ROAD
	MVPS		EXISTING FARM FENCE
	HV SWITCHGEAR		BESS SECURITY FENCE 1.8 METER HIGH CHAIN MESH SECURITY FENCE GALVANISED STEEL
	EXISTING O/H LINE		TITLE BOUNDARY
	EXISTING LINE EASEMENT		NEIGHBORING BOUNDARIES
	EXISTING HV POLE/TOWER		TWO ROWS LANDSCAPE
	NEW UNDERGROUND LINE		RESIDENTIAL PROPERTY
	NEW LINE EASEMENT		CAR PARK AREA
	NEW HV POLE/TOWER		EXISTING DAM
	INFRASTRUCTURE AND EASEMENT EXCLUSION ZONE		ASSETS PROTECTION ZONE
	EXISTING TREES		SHED TO BE RELOCATED (TBC)
	TREE TO BE REMOVED (MARKED)		WATER TANK
	TELSTRA UNDERGROUND CABLE		ACOUSTIC BARRIER

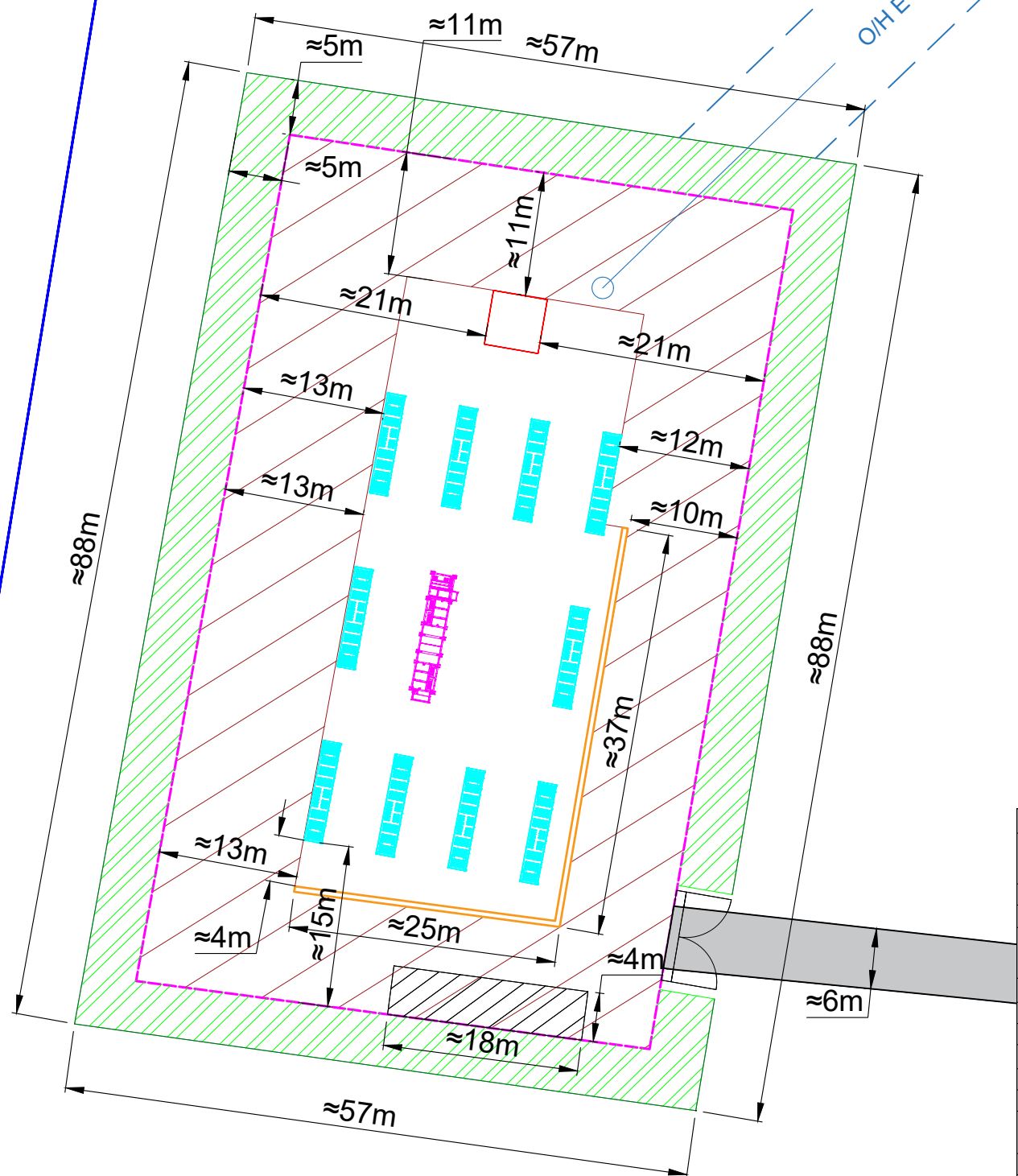
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A	FA	INITIAL ISSUE	30/04/2024	XZ	AJ
B	FA	INITIAL ISSUE	31/10/2024	XZ	AJ
C	FA	DETAILS AMENDED	20/11/2024	XZ	AJ
D	FA	ACOUSTIC BARRIER DETAILS UPDATED	11/04/2025	FA	AJ





























PROJECT DETAILS:	MURRUMBATEMAN DISTRIBUTION BESS 3 TURTON PLACE MURRUMBATEMAN, NEW SOUTH WALES 2582 -34.9920, 149.04964
CLIENT DETAILS:	ACENERGY PTY LTD
DRAWING TITLE:	SITE PLAN 1 OF 2

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SCALE: AS INDICATED	ISSUE: FOR APPROVAL	ISSUE DATE: 11/04/2025
SHEET SIZE: A3		REV. NO: D



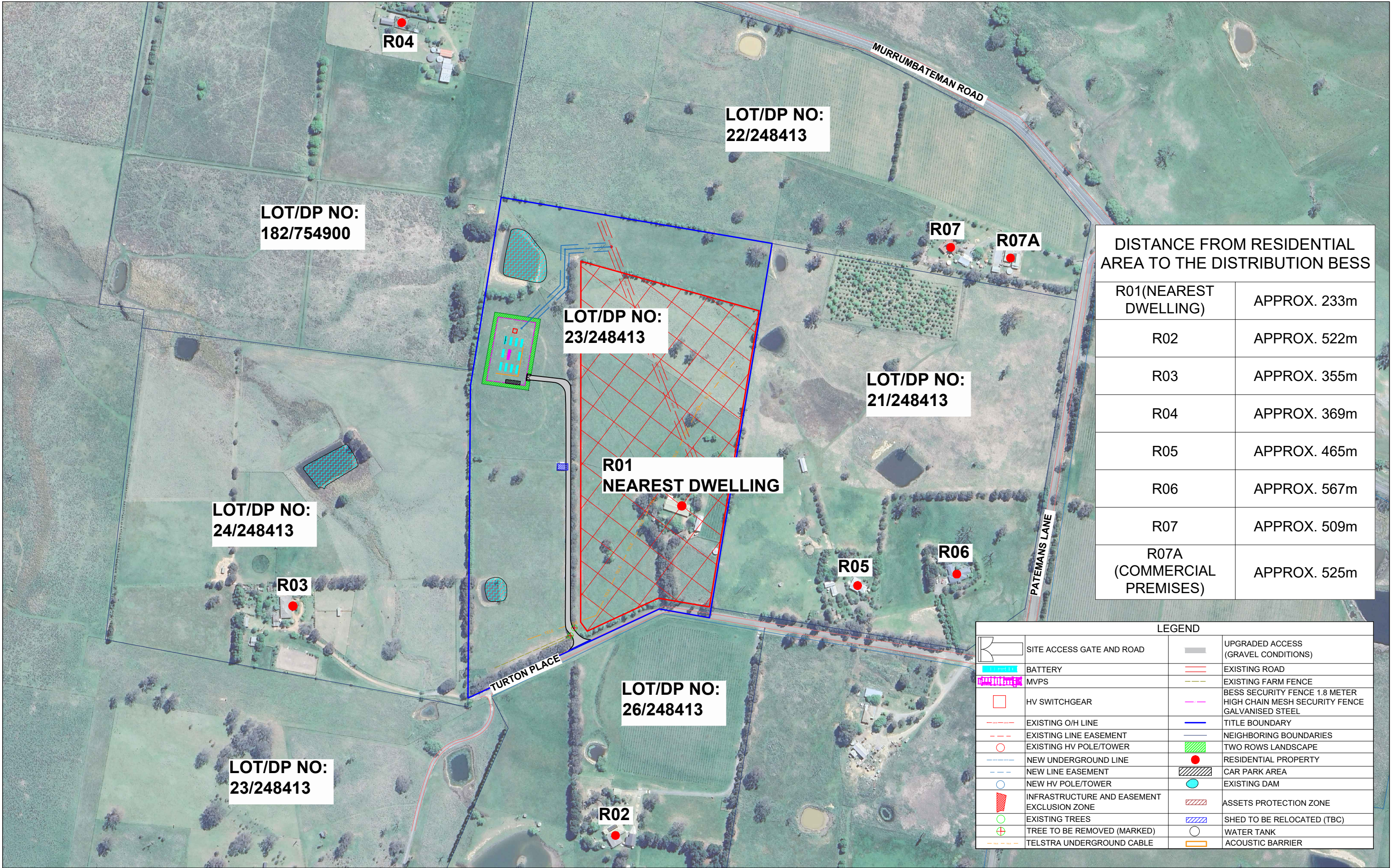


LEGEND			
	SITE ACCESS GATE AND ROAD		UPGRADED ACCESS (GRAVEL CONDITIONS)
	BATTERY		EXISTING ROAD
	MVPS		EXISTING FARM FENCE
	HV SWITCHGEAR		BESS SECURITY FENCE 1.8 METER HIGH CHAIN MESH SECURITY FENCE GALVANISED STEEL
	EXISTING O/H LINE		TITLE BOUNDARY
	EXISTING LINE EASEMENT		NEIGHBORING BOUNDARIES
	EXISTING HV POLE/TOWER		TWO ROWS LANDSCAPE
	NEW UNDERGROUND LINE		RESIDENTIAL PROPERTY
	NEW LINE EASEMENT		CAR PARK AREA
	NEW HV POLE/TOWER		EXISTING DAM
	INFRASTRUCTURE AND EASEMENT EXCLUSION ZONE		ASSETS PROTECTION ZONE
	EXISTING TREES		SHED TO BE RELOCATED (TBC)
	TREE TO BE REMOVED (MARKED)		WATER TANK
	TELSTRA UNDERGROUND CABLE		ACOUSTIC BARRIER

PROJECT DETAILS:	MURRUMBATEMAN DISTRIBUTION BESS 3 TURTON PLACE MURRUMBATEMAN, NEW SOUTH WALES 2582 -34.9920, 149.04964
CLIENT DETAILS:	ACENERGY PTY LTD
DRAWING TITLE:	SITE PLAN 2 OF 2


DRAWING NR: G-1.2_023118		
DRAWN BY : FA	APPROVED BY : AJ	PROJECT MGR : LZ
SCALE : AS INDICATED	ISSUE : FOR APPROPAL	ISSUE DATE : 11/04/2025
SHEET SIZE: A3		REV. NO: D

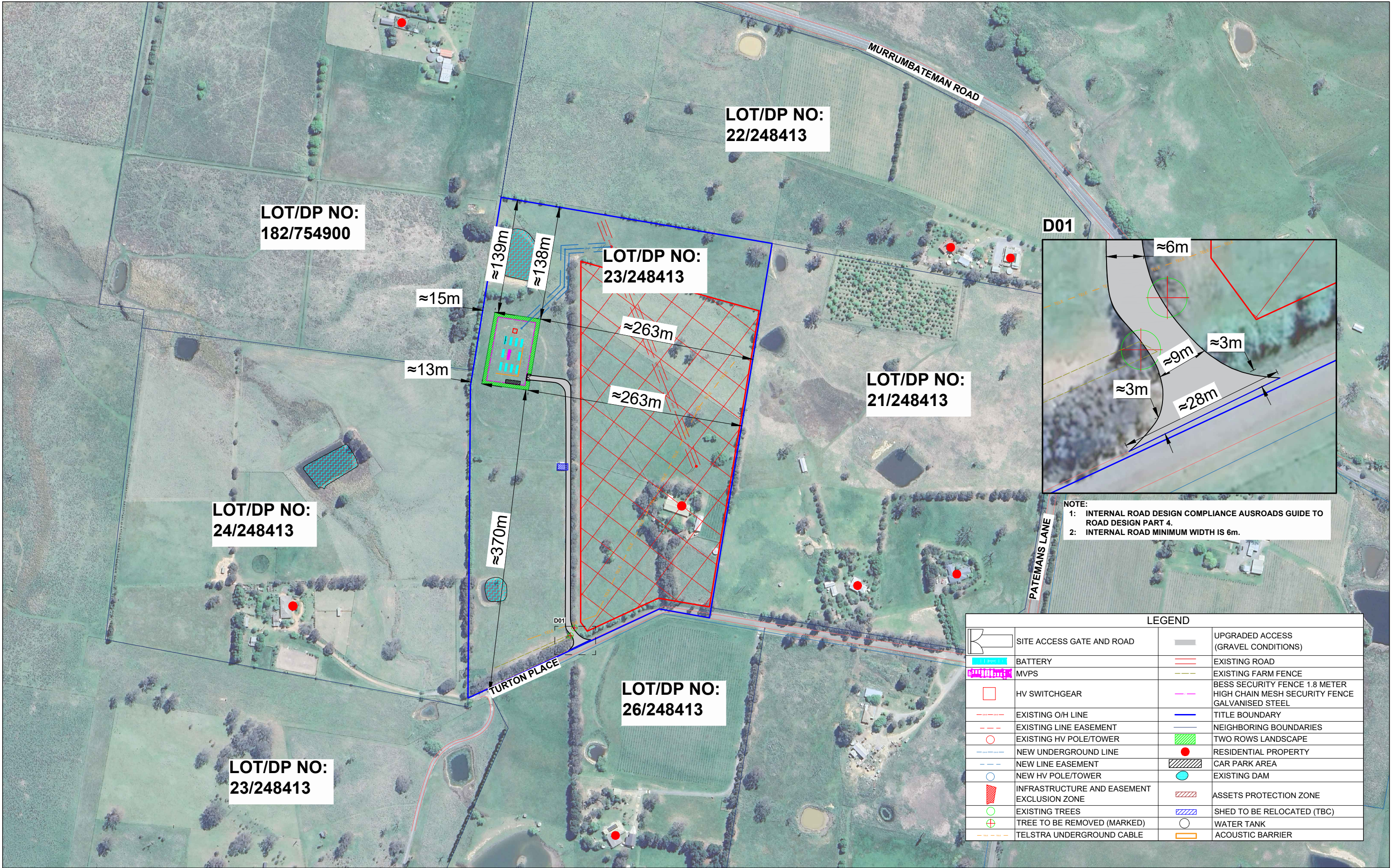




DISTANCE FROM RESIDENTIAL AREA TO THE DISTRIBUTION BESS	
R01(NEAREST DWELLING)	APPROX. 233m
R02	APPROX. 522m
R03	APPROX. 355m
R04	APPROX. 369m
R05	APPROX. 465m
R06	APPROX. 567m
R07	APPROX. 509m
R07A (COMMERCIAL PREMISES)	APPROX. 525m

LEGEND			
	SITE ACCESS GATE AND ROAD		UPGRADED ACCESS (GRAVEL CONDITIONS)
	BATTERY		EXISTING ROAD
	MVPS		EXISTING FARM FENCE
	HV SWITCHGEAR		BESS SECURITY FENCE 1.8 METER HIGH CHAIN MESH SECURITY FENCE GALVANISED STEEL
	EXISTING O/H LINE		TITLE BOUNDARY
	EXISTING LINE EASEMENT		NEIGHBORING BOUNDARIES
	EXISTING HV POLE/TOWER		TWO ROWS LANDSCAPE
	NEW UNDERGROUND LINE		RESIDENTIAL PROPERTY
	NEW LINE EASEMENT		CAR PARK AREA
	NEW HV POLE/TOWER		EXISTING DAM
	INFRASTRUCTURE AND EASEMENT EXCLUSION ZONE		ASSETS PROTECTION ZONE
	EXISTING TREES		SHED TO BE RELOCATED (TBC)
	TREE TO BE REMOVED (MARKED)		WATER TANK
	TELSTRA UNDERGROUND CABLE		ACOUSTIC BARRIER

REVISIONS						PROJECT DETAILS: MURRUMBATEMAN DISTRIBUTION BESS 3 TURTON PLACE MURRUMBATEMAN, NEW SOUTH WALES 2582 -34.9920, 149.04964		CLIENT DETAILS: ACENERGY PTY LTD		DRAWING TITLE: LOCALITY DIAGRAM 1 OF 2		DRAWING NR: G-2.1_023118		DRAWN BY : FA		APPROVED BY : AJ		PROJECT MGR : LZ		SCALE : AS INDICATED		ISSUE : FOR APPROVAL		ISSUE DATE : 11/04/2024		SHEET SIZE: A3		REV. NO: D			
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B	FA	INITIAL ISSUE	31/10/2024	XZ	AJ																										
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D	FA	ACOUSTIC BARRIER DETAILS UPDATED	11/04/2025	FA	AJ																										



REVISIONS					
REV	STATUS	DESCRIPTION	DATE	D.B.	C.B.
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D	FA	ACOUSTIC BARRIER DETAILS UPDATED	11/04/2025	FA	AJ

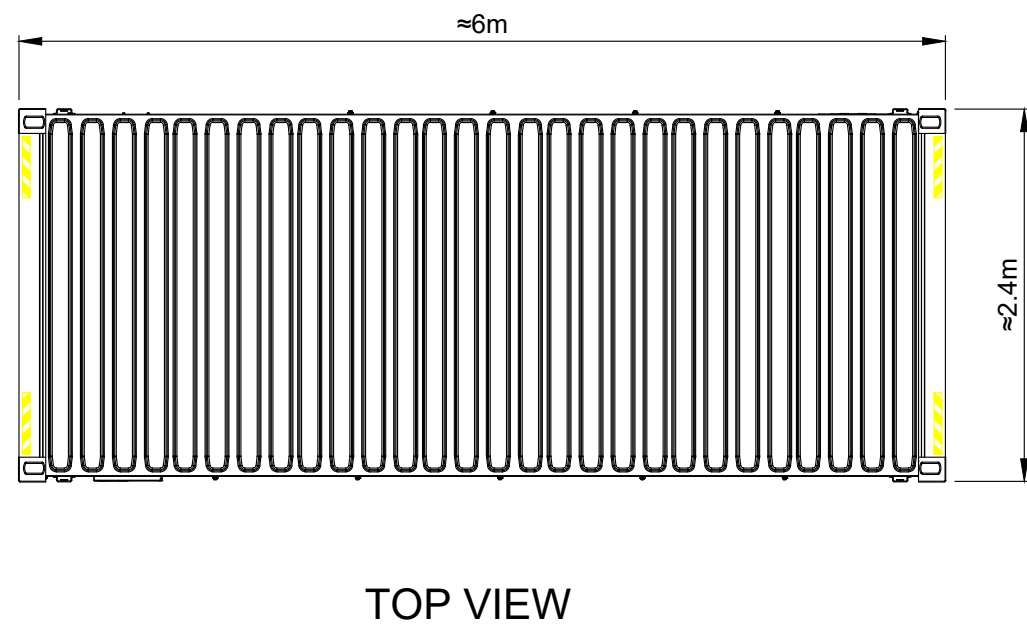
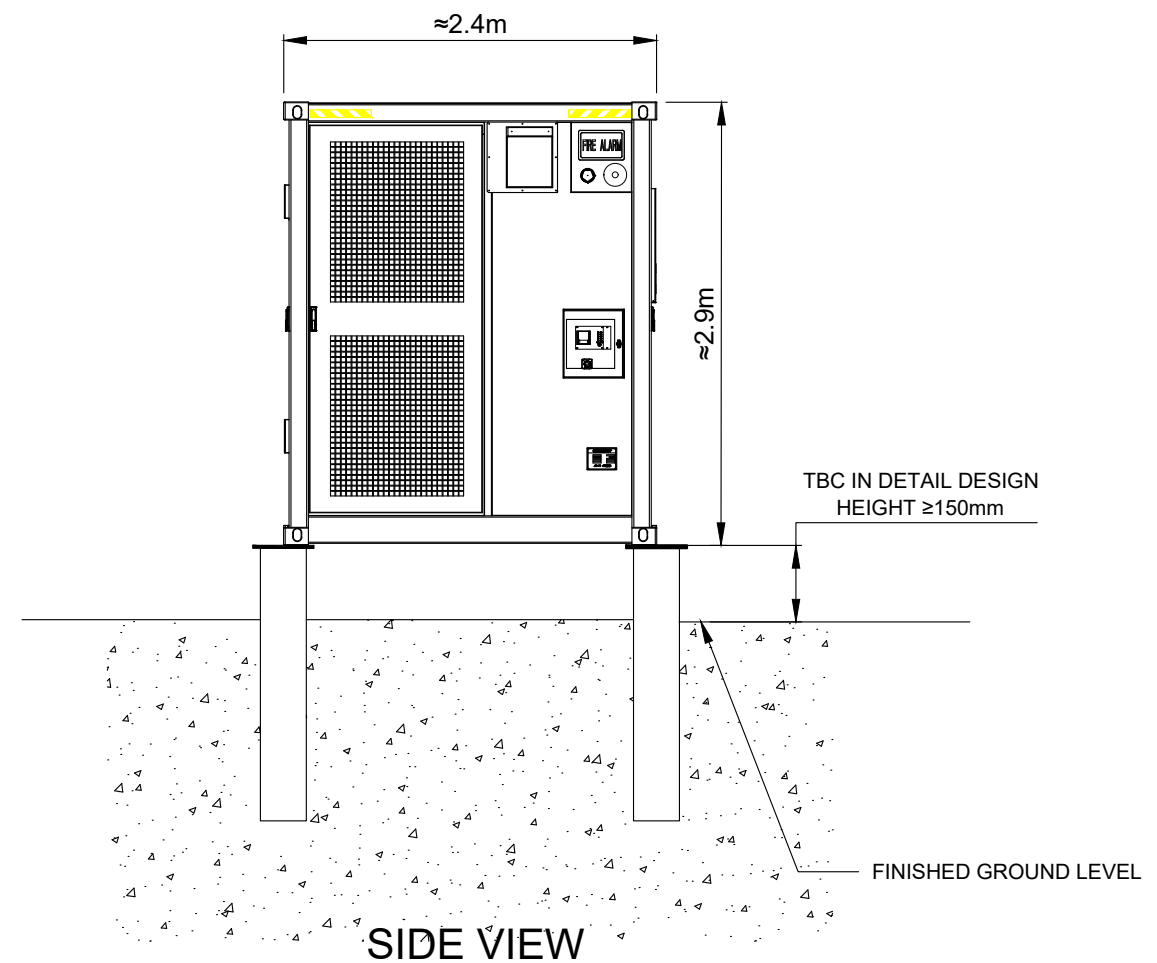
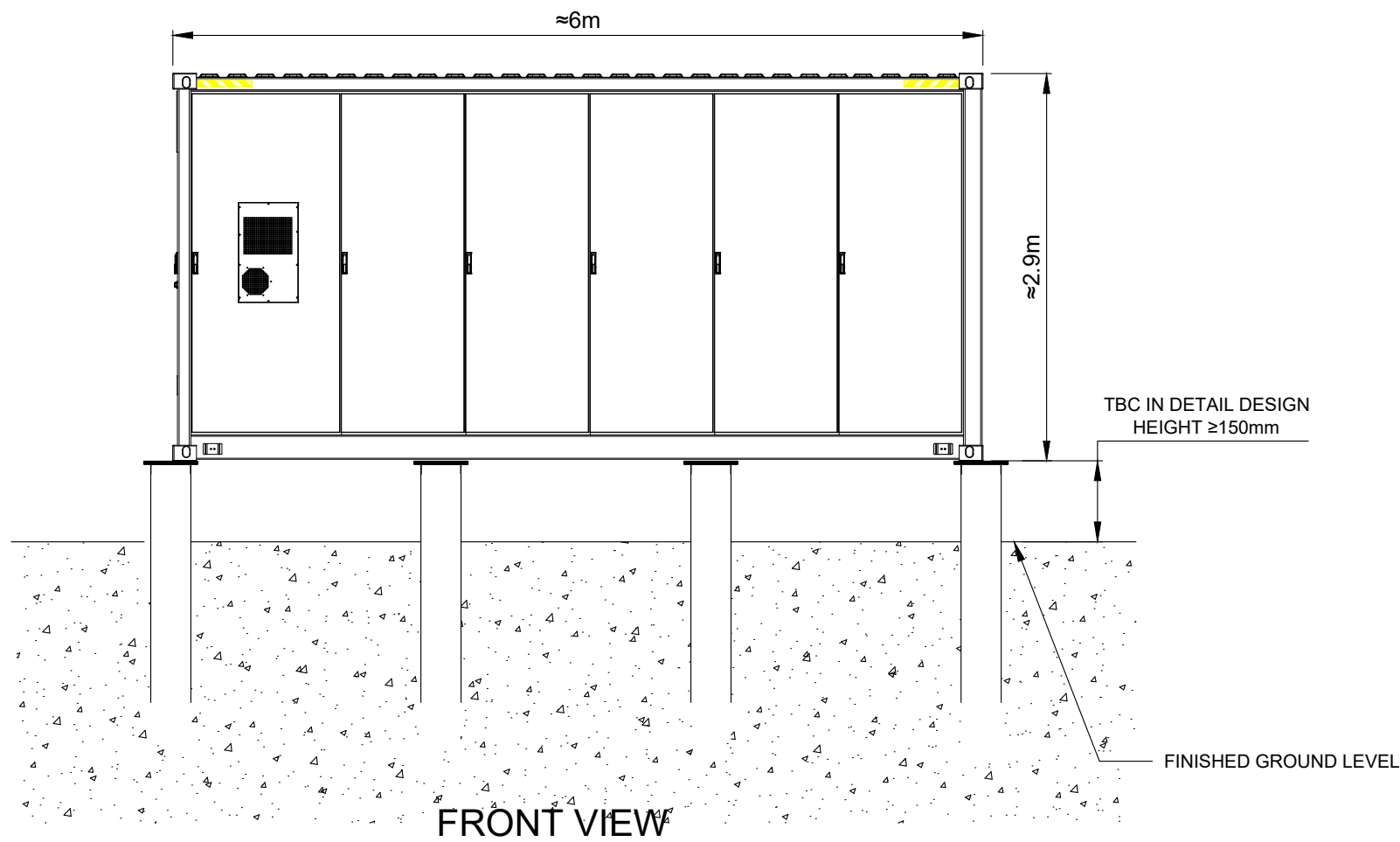
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	3 TURTON PLACE MURRUMBATEMAN, NEW SOUTH WALES 2582 -34.9920, 149.04964
	CLIENT DETAILS:
ACENERGY PTY LTD	
DRAWING TITLE:	
LOCALITY DIAGRAM 1 OF 2	

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ISSUE DATE:	11/04/2025
SHEET SIZE:	A3
REV. NO:	D


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G-2.2_023118	
DRAWN BY:	FA
APPROVED BY:	AJ
PROJECT MGR:	LZ
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ISSUE:	FOR APPROVAL
ISSUE DATE:	11/04/2025
SHEET SIZE:	A3
REV. NO:	D



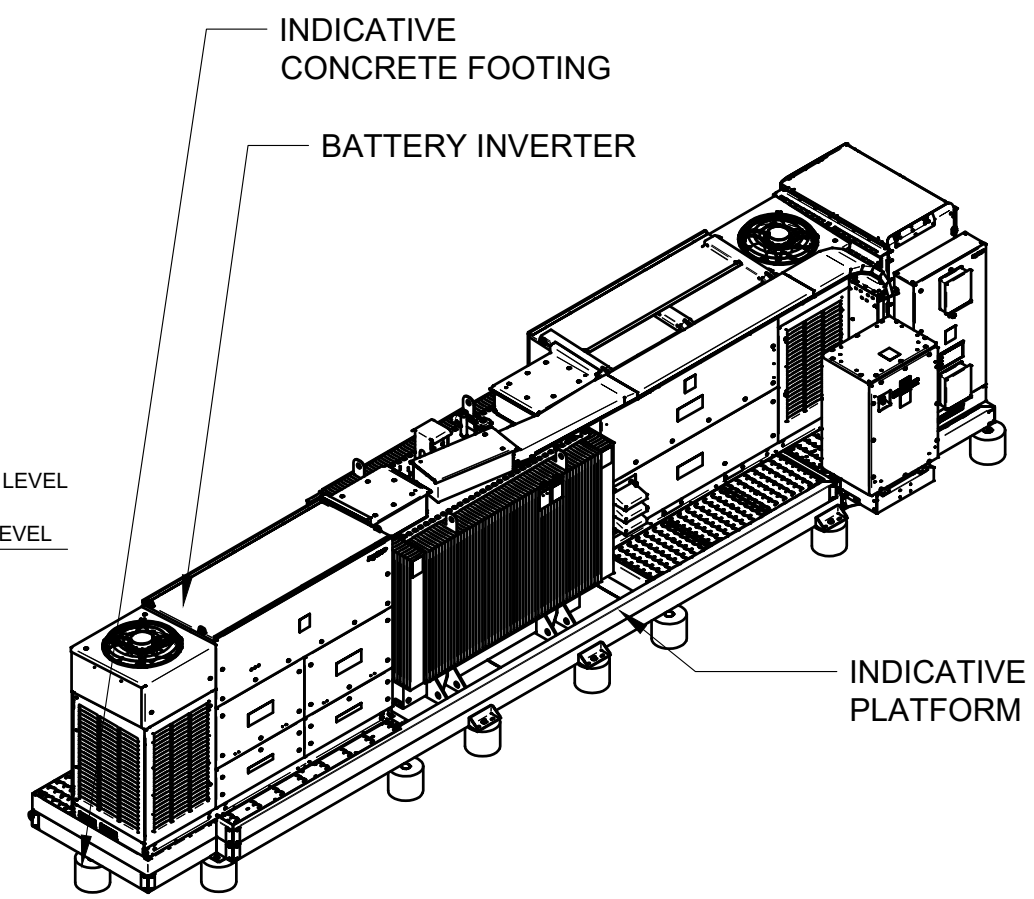
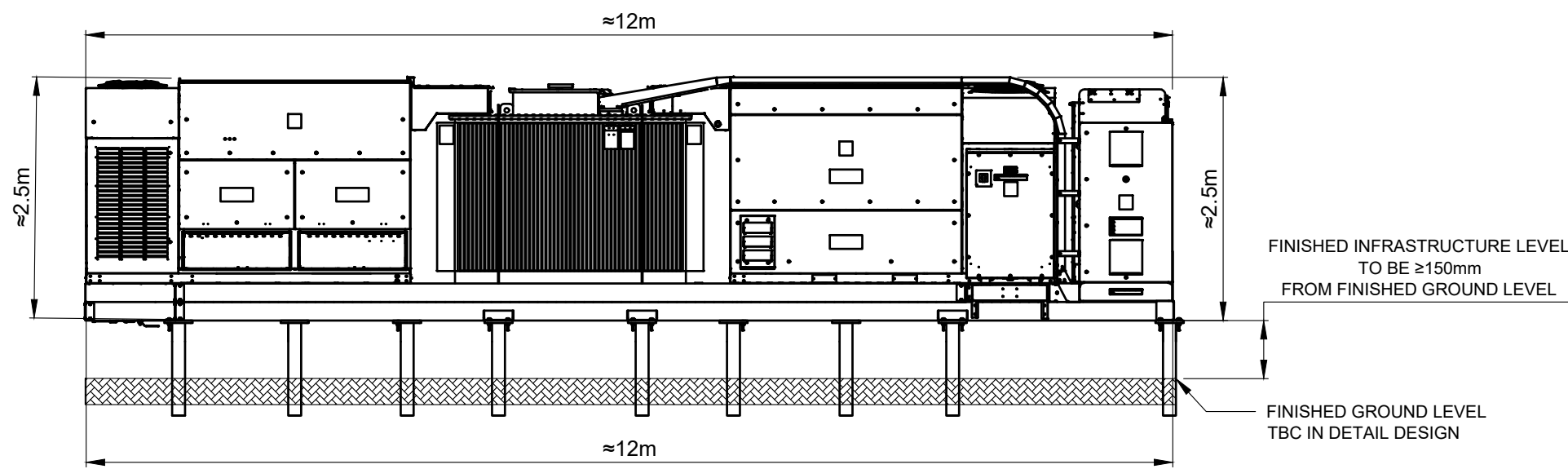


TYPICAL ENERGY STORAGE CONTAINER

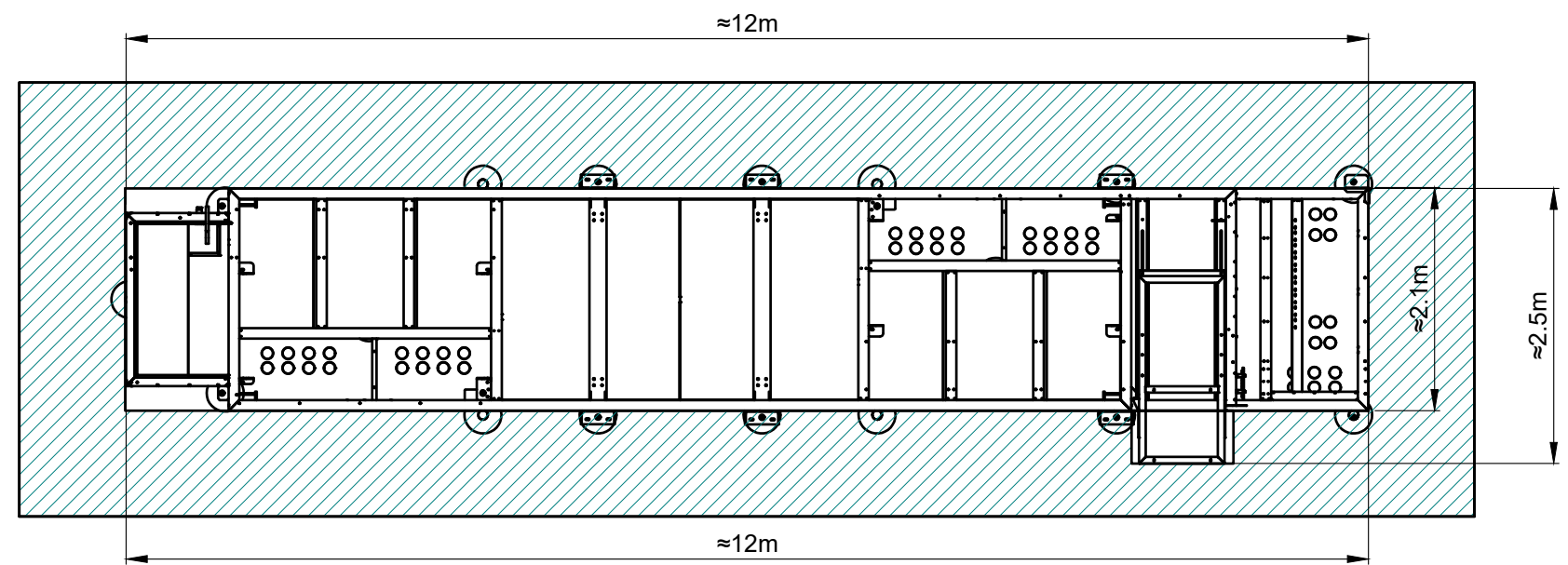
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A	FA	INITIAL ISSUE	29/04/2024	XZ	AJ	CLIENT DETAILS: ACENERGY PTY LTD				
B	FA	DETAILS AMENDED	31/10/24	XZ	AJ	DRAWING TITLE: ENERGY STORAGE CONTAINER ELEVATIONS				
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									PROJECT MGR : LZ	
									SCALE : AS INDICATED	
									ISSUE : FOR APPROVAL	
									ISSUE DATE : 31/10/2024	
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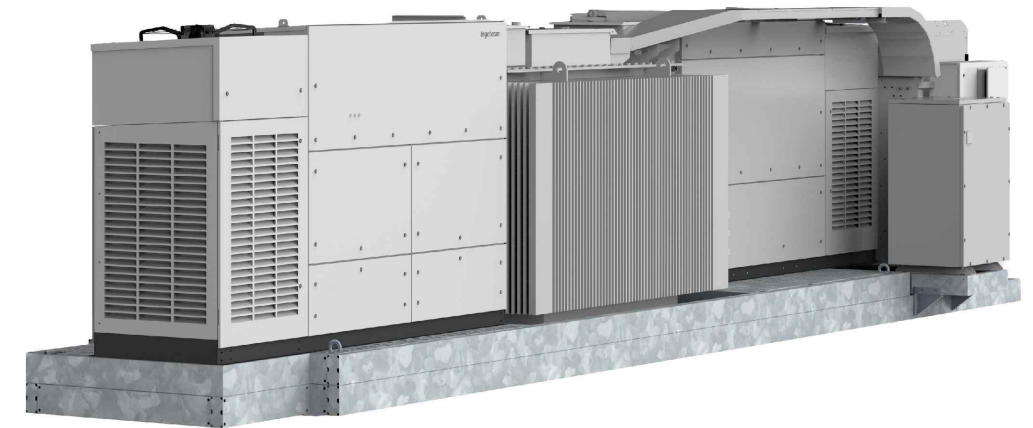
MVPS FRONT VIEW




MVPS TOP VIEW



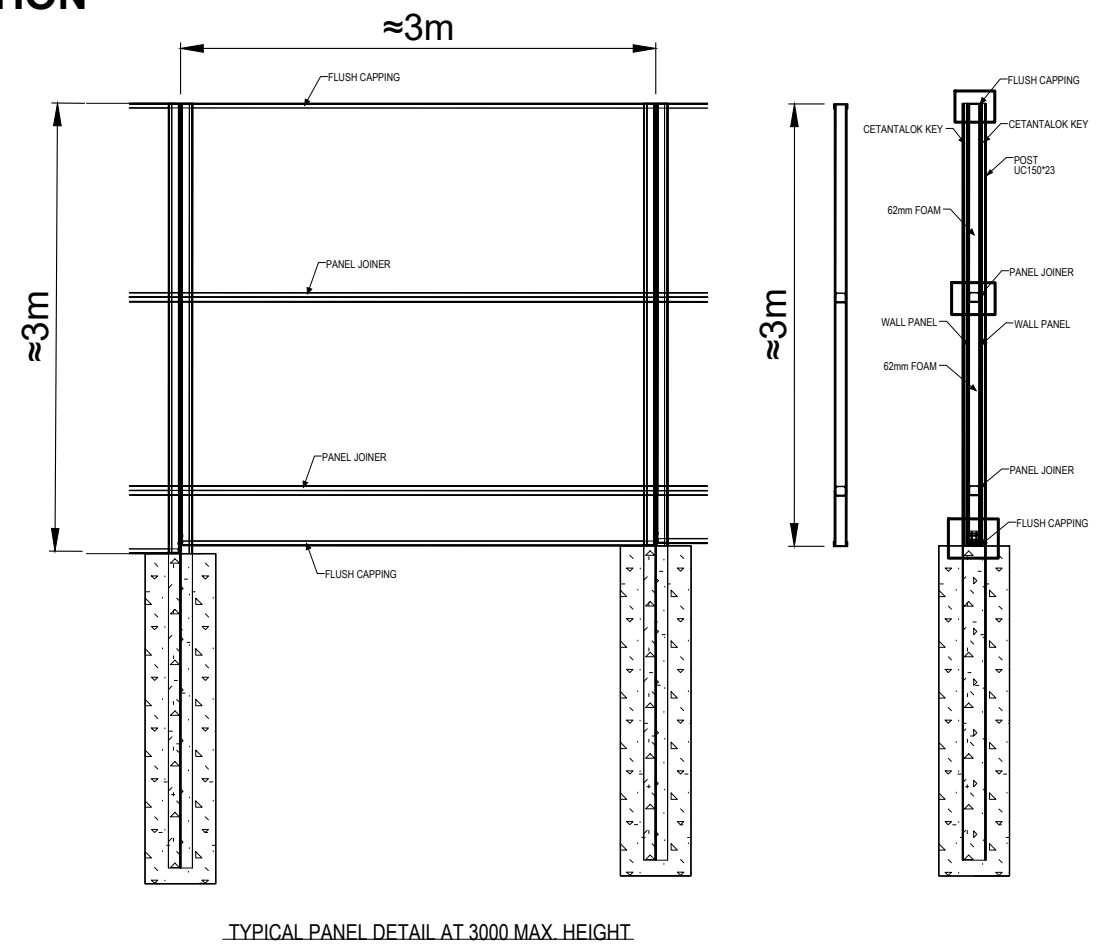
TYPICAL MVPS



NOTE: MATERIAL FINISHES AND COLOUR PALLETTE TBC IN DETAILED DESIGN ACCORDING TO MANUFACTURER SPECIFICATIONS.

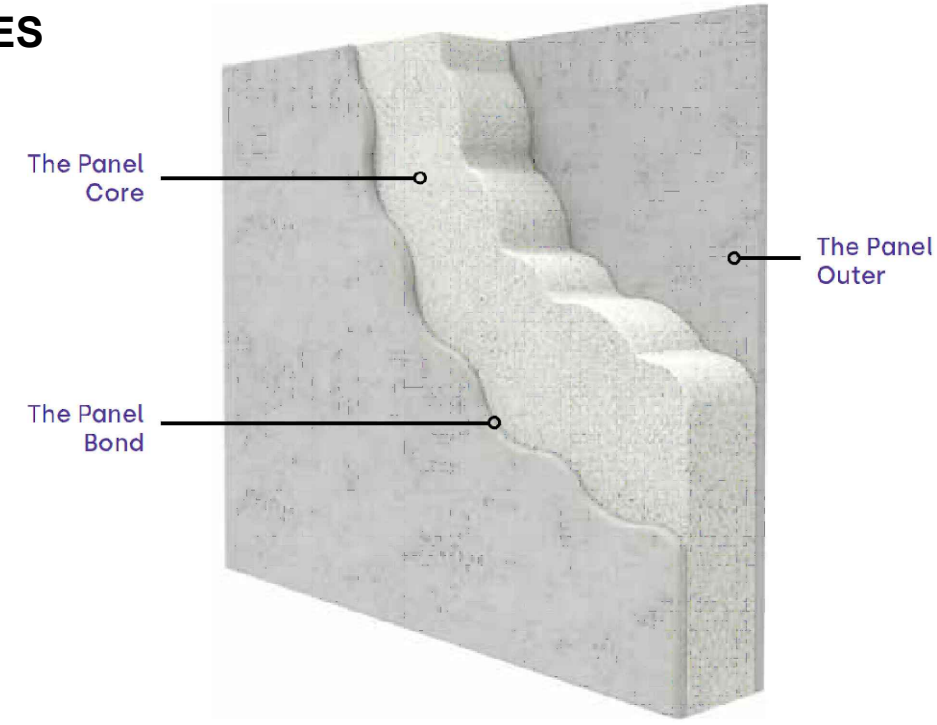
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A	FA	INITIAL ISSUE	13/12/23	XZ	AJ	CLIENT DETAILS: ACENERGY PTY LTD					
B	FA	DETAILS AMENDED	31/10/24	XZ	AJ	DRAWING TITLE: MVPS ELEVATIONS					
								COPYRIGHT OF THIS DRAWING RESERVED BY ACENERGY PTY LTD. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS WITHOUT CONSENT OF ACENERGY.	DRAWN BY : XZ	APPROVED BY : AJ	PROJECT MGR : LZ
									NO SCALE	ISSUE : FOR APPROVAL	ISSUE DATE : 31/10/2024
								SHEET SIZE: A3	PROJECT NO: 23118	REV. NO: B	

SECTION



TYPICAL PANEL DETAIL AT 3000 MAX. HEIGHT.

FEATURES



The Panel Core

- Termite resistant
- Superb compressive strength to weight ratio
- Absorbs minimal water - no mould or rotting
- Treated with Fire Retardant

The Panel Bond

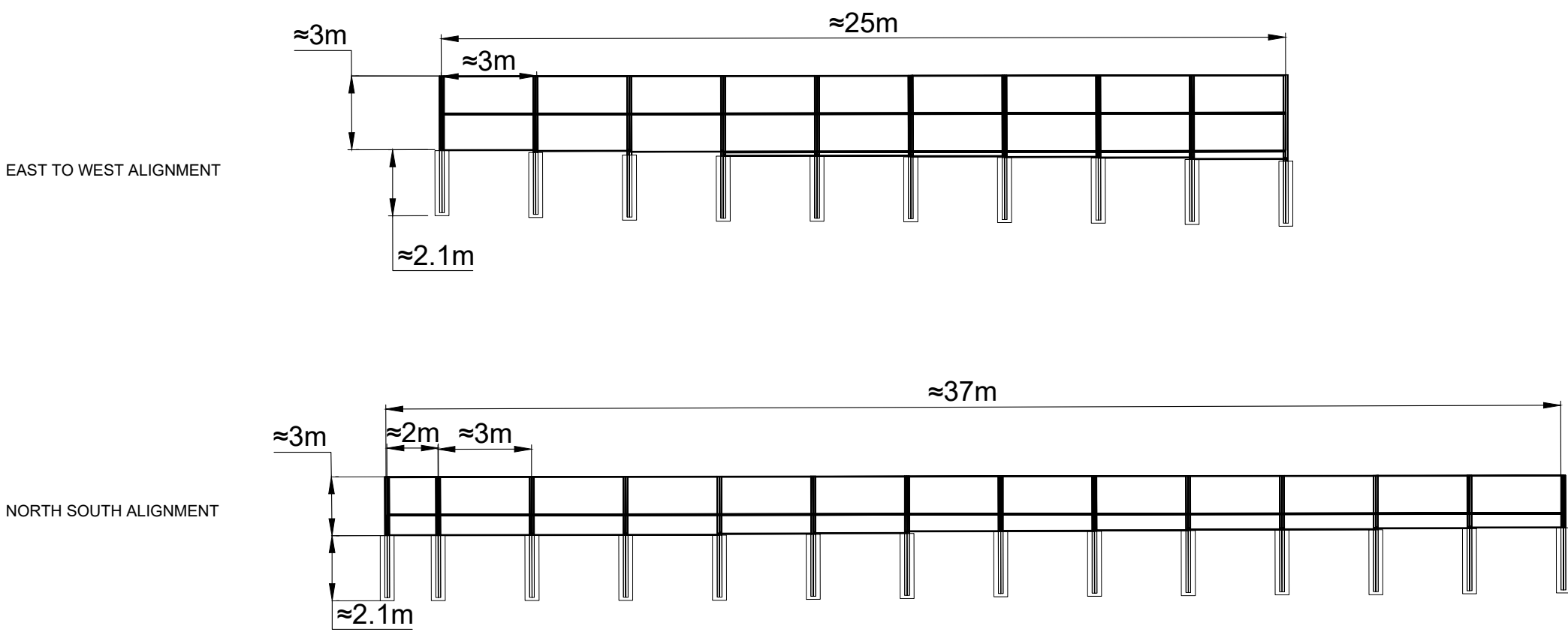
- Full surface contact adhesion
- High grade Polyurethane glue


The Panel Outer

- Fire resistant & non-combustible
- Smooth finish - easy to apply paint or render
- Maintenance Free

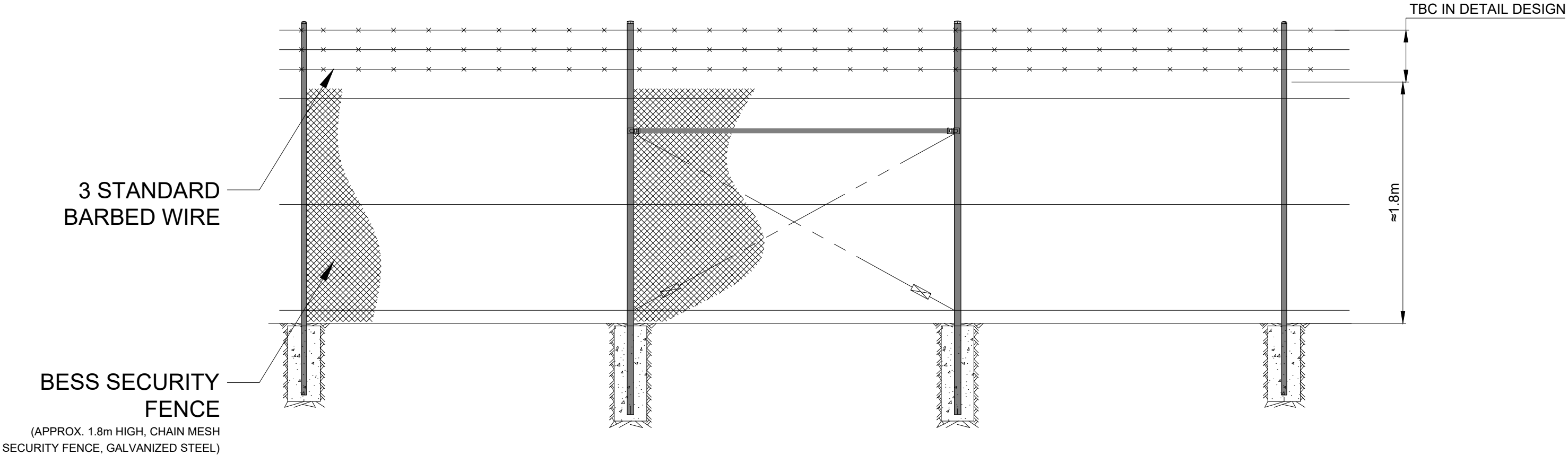
NOTE: MATERIAL FINISHES AND COLOUR PALLETE TBC IN DETAILED DESIGN ACCORDING TO MANUFACTURER SPECIFICATIONS.

ELEVATIONS

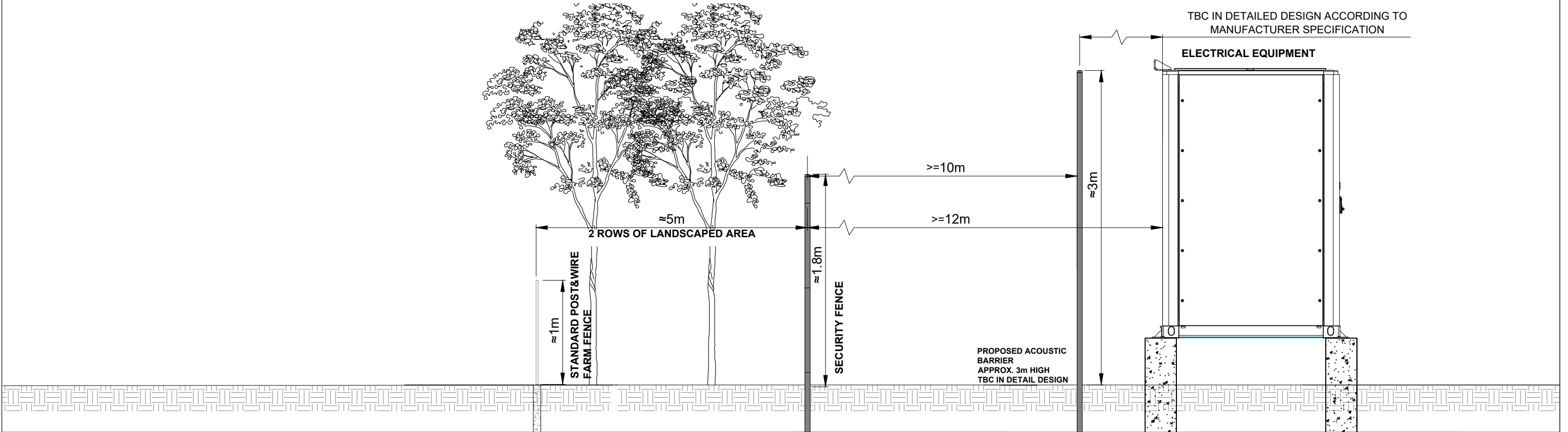


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A	FA	INITIAL ISSUE	11/04/25	FA	AJ	CLIENT DETAILS:			FA	APPROVED BY : AJ	PROJECT MGR : LZ	
						ACENERGY PTY LTD			SCALE :	ISSUE : FOR APPROVAL	ISSUE DATE : 11/04/2025	
						DRAWING TITLE:			SHEET SIZE:	PROJECT NO:	REV. NO:	
						ACOUSTIC BARRIER GENERAL DETAILS (SECTION AND ELEVATIONS)			A3	23118	A	

SECURITY FENCE FRONT VIEW



SECURITY FENCE AND TWO ROWS OF LANDSCAPE SIDE VIEW



REVISIONS					
REV	STATUS	DESCRIPTION	DATE	D.B.	C.B.
A	FA	INITIAL ISSUE	13/12/2023	XZ	AJ
B	FA	DETAILS AMENDED	20/11/2024	XZ	AJ

PROJECT DETAILS:	MURRUMBATMAN DISTRIBUTION BESS 3 TURTON PLACE MURRUMBATMAN, NEW SOUTH WALES 2582 -34.9920, 149.04964
CLIENT DETAILS:	ACENERGY PTY LTD
DRAWING TITLE:	SECURITY FENCE & LANDSCAPE ELEVATIONS

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SCALE : NOT SCALE	ISSUE : FOR APPROVAL	ISSUE DATE : 20/11/2024
SHEET SIZE: A3	PROJECT NO: 23118	REV. NO: B



ATTACHMENT 6

REVISED LANDSCAPE PLAN





Aerial imagery © Nearmap

REVISED APPROVAL ISSUE - 15 April 2025

Notes

IMPORTANT NOTE RE CLARIFICATION:
Tenderers/Contractors are advised to contact this office to confirm/clarify any aspect of the works, incl. any details of the contract documents (incl. this plan) of which they are uncertain. No claim will be accepted on account of failure to do so. IF IN DOUBT ... ASK.

This plan shall be read in conjunction with the ACenergy Pty Ltd Murrumbateman Distribution BESS drawings.

C	15/4/2025	Minor revisions to site layout; Landscape updated to suit.	CW
B	20/11/2024	Detail drawing reference rectangle removed	CW
A	8/5/2024	Fully revised to amended D-BESS site layout; Plant specings revised, plant schedule updated.	CW

Rev	Date	Revision Note	By
6	15/4/2025	REVISED APPROVAL ISSUE	CW
5	22/11/2024	REVISED APPROVAL ISSUE	CW
4	20/11/2024	REVISED APPROVAL ISSUE	CW
3	3/6/2024	REVISED APPROVAL ISSUE	CW
2	8/5/2024	REVISED APPROVAL ISSUE	CW
1	26/11/2023	APPROVAL ISSUE	CW

Issue	Date	Issue Note	By
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Surveyors

Tel: eMail

Structural Engineer:

Tel: eMail

Consulting Engineer

Mos:

Project Managers

ACenergy Pty Ltd

Mos: 0407 514 952 eMail: danny.williams@acenergy.com.au

Other:

Mos: eMail:

Proprietor

Project

MURRUMBATEMAN
Distribution BESS

3 Turton Place Murrumbateman NSW

Drawing

Overview/Context Plan

Sheet

1 of 4

Local Authority

Yass Valley Council, NSW

0 100 150 200 m

Scale

1:3,000 @ A1; 1:6,000 @ A3

Drawn

CW

Date

26 Nov 2023

North

Project #

23646

Drawing #

01

Rev

C

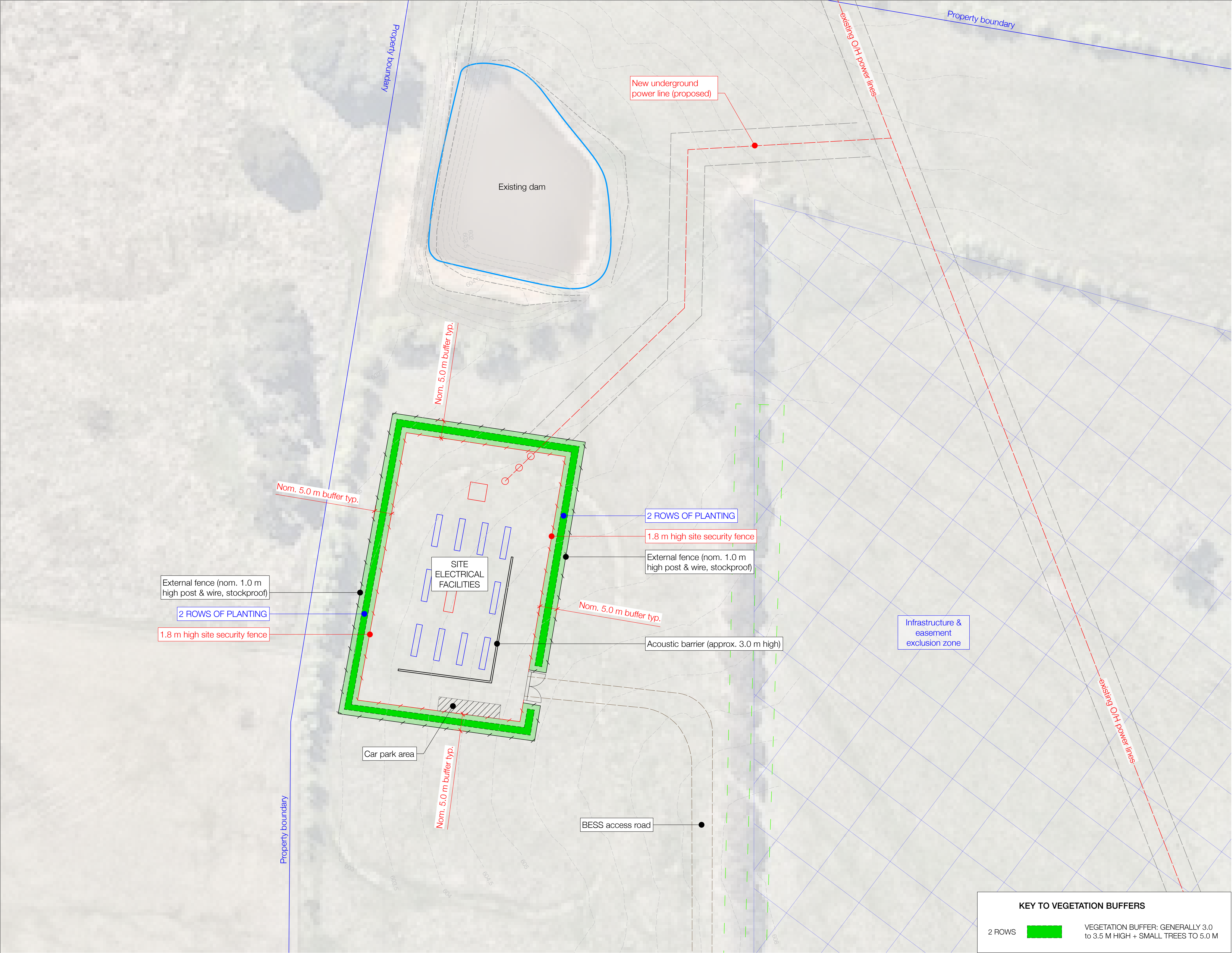
groundcontrol

Ground Control
Landscape Architecture Pty Ltd

ABN 53 776 078 327

PO Box 757 Mansfield Victoria Australia 3724
P 03 5779 1447 E gcla@groundcontrol.com.au

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This plan shall be read in conjunction with the ACenergy Pty Ltd Murrumbateman Distribution BESS drawings.

D	15/4/2025	Minor revisions to site layout; Landscape updated to suit.	CW
C	20/11/2024	Acoustic barrier & car park area added	CW
B	3/6/2024	New connecting power line corrected from overhead to underground installation	CW

Rev	Date	Revision Note	By
6	15/4/2025	REVISED APPROVAL ISSUE	CW
5	22/11/2024	REVISED APPROVAL ISSUE	CW
4	20/11/2024	REVISED APPROVAL ISSUE	CW
3	3/6/2024	REVISED APPROVAL ISSUE	CW
2	8/5/2024	REVISED APPROVAL ISSUE	CW
1	26/11/2023	APPROVAL ISSUE	CW

Issue	Date	Issue Note	By
Surveyors			
Tel: eMail:			
Structural Engineer:			
Tel: eMail:			
Consulting Engineer			
Tel: eMail:			
Project Managers			
ACenergy Pty Ltd			
Mob: 0437 514 952 eMail: danny.w@acenergy.com.au			
Other:			
Tel: eMail:			
Proprietor			

Project

MURRUMBATEMAN Distribution BESS

3 Turton Place Murrumbateman NSW

Drawing

Landscape Screening Plan

Sheet 2 of 4

Local Authority Yass Valley Council, NSW

0 10 20 30 40 m

Scale 1:500 @ A1; 1:1,000 @ A3

Drawn CW Date 26 Nov 2023

North

Project # 23646 Drawing # 02 Rev D

groundcontrol

Ground Control Landscape Architecture Pty Ltd

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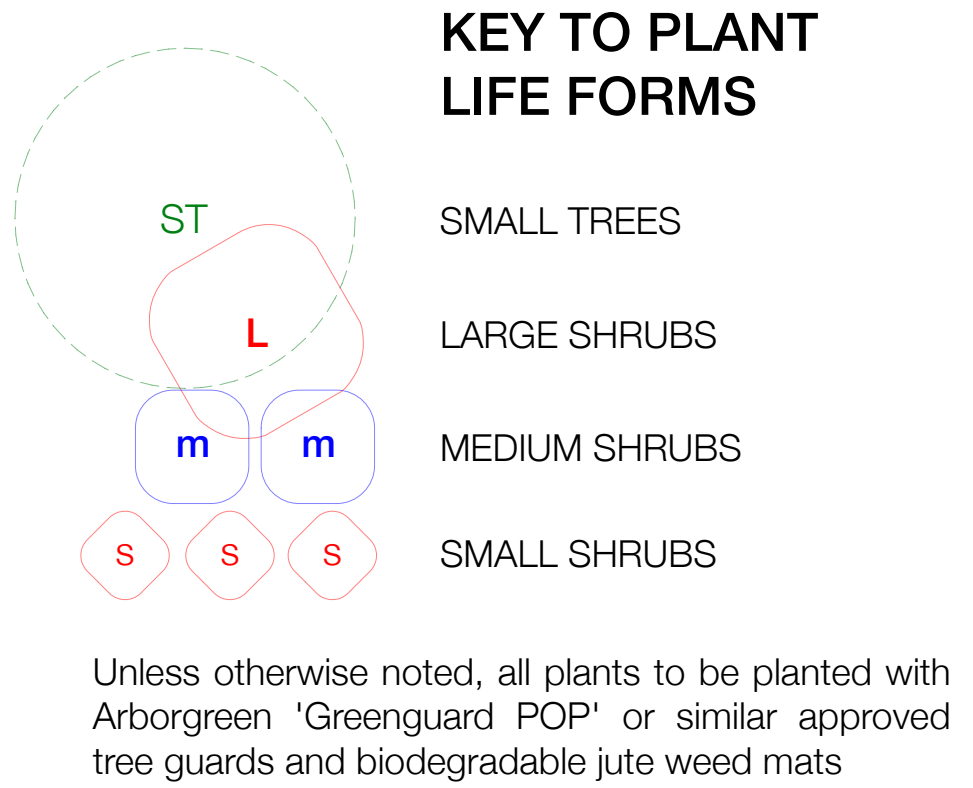
KEY TO VEGETATION BUFFERS

2 ROWS VEGETATION BUFFER: GENERALLY 3.0 TO 3.5 M HIGH + SMALL TREES TO 5.0 M

REVISED APPROVAL ISSUE - 15 April 2025

LIFE FORM	INDIGENOUS	SPECIES NAME	COMMON NAME	EST. MATURE HEIGHT	EST. MATURE SPREAD	POT SIZE	QUANTITY
SMALL TREES							
ST	●	<i>Acacia dorytuxylon</i>	Spearwood	5.0	4.0	Hiko	10
ST	●	<i>Acacia pravissima</i>	Tumut Wattle	5.0	4.0	Hiko	10
ST	●	<i>Hakea decurrens</i>	Bushy Needlewood	5.0	4.0	Hiko	5
LARGE SHRUBS							
L	●	<i>Acacia decora</i>	Western Silver Wattle	2.5	3.0	Hiko	30
L	●	<i>Acacia paradoxa</i>	Kangaroo Thorn	3.0	3.0	Hiko	16
L	●	<i>Acacia verniciflua</i>	Varnish Wattle	3.5	3.0	Hiko	30
L		<i>Callistemon citrinus</i> 'Kings Park Special'	Kings Park Bottlebrush	3.5	3.0	Hiko	30
L	●	<i>Kunzea ericoides</i>	Burgan	3.0	3.0	Hiko	16
L	●	<i>Leptospermum lanigerum</i>	Woolly Tea-tree	3.5	3.0	Hiko	30
MEDIUM SHRUBS							
M	●	<i>Acacia buxifolia</i>	Box-leaf Wattle	2.5	2.0	Hiko	25
M	●	<i>Acacia siculiformis</i>	Dagger Wattle	2.0	2.0	Hiko	20
M	●	<i>Bursaria spinosa</i>	Sweet Bursaria	2.5	2.0	Hiko	20
M	●	<i>Callistemon sieberi</i>	River Bottlebrush	3.0	2.0	Hiko	20
M	●	<i>Indigofera australis</i>	Australian Indigo	2.0	2.0	Hiko	20
M	●	<i>Leptospermum continentale</i>	Prickly Tea-tree	2.5	2.0	Hiko	23
SMALL SHRUBS							
S	●	<i>Acacia genistifolia</i>	Early Wattle	1.5	2.0	Hiko	20
S	●	<i>Grevillea lanigera</i> (shrub form)	Woolly Grevillea	1.5	2.0	Hiko	20
S	●	<i>Kunzea parvifolia</i>	Violet Kunzea	1.0	2.0	Hiko	11

TOTAL PLANTS QUANTITY 356



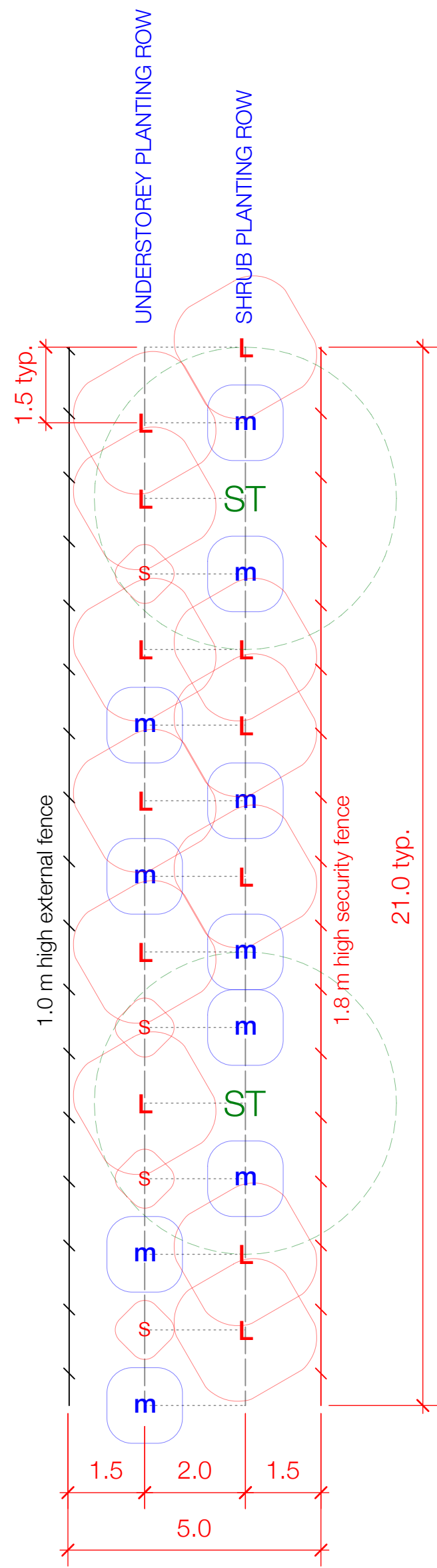
PLANT SET-OUT

Plant species shall be distributed in natural groupings to all planting areas, generally in accordance with plant life-form planting layouts as described in the Vegetation Buffer Detail Sheets as part of this drawing set.

Avoid concentrations of one species in any one area.

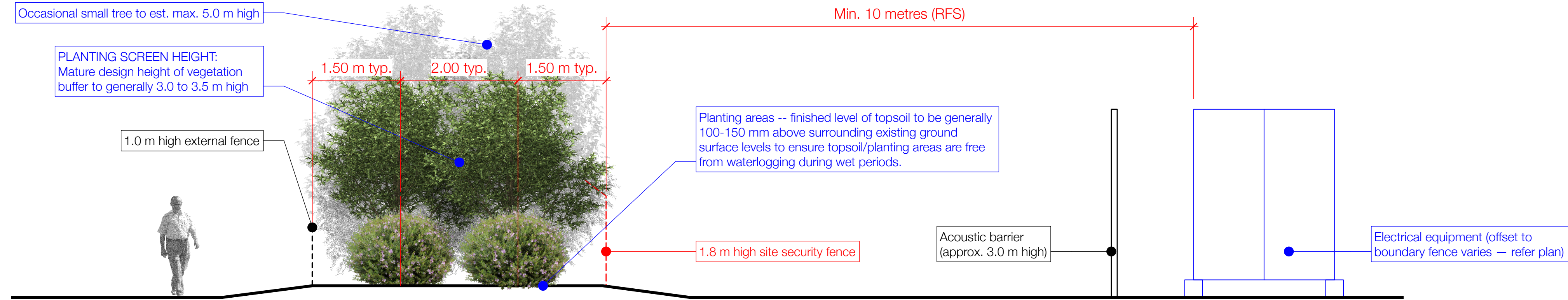
Avoid planting more than 5 no. of the same species in any one 21 m long typical planting row.

Maximise plant diversity at plant set-out.

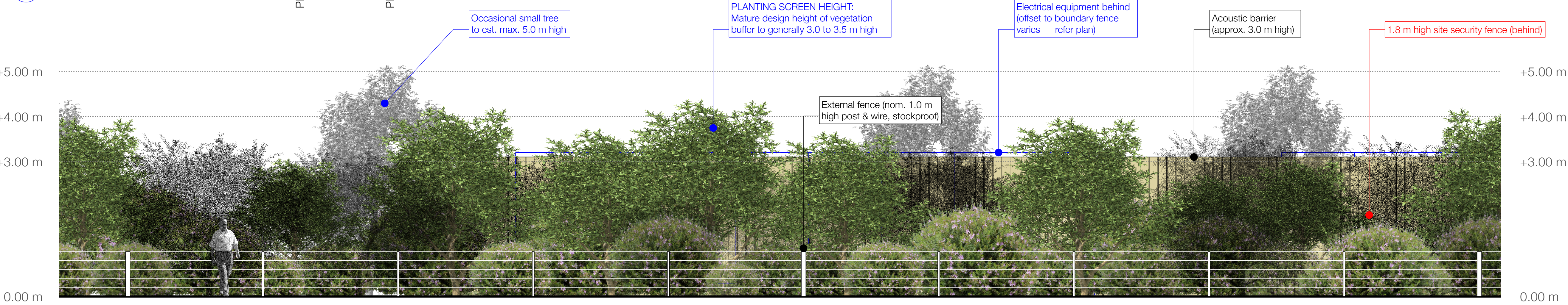


2 ROWS

1 TYP. VEGETATION BUFFER
Scale: 1:100



2 TYPICAL VEGETATION BUFFER (SECTION)
Scale: 1:50



3 TYPICAL VEGETATION BUFFER (EXTERNAL ELEVATION)
Scale: 1:50

Notes

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This plan shall be read in conjunction with the ACenergy Pty Ltd Murrumbateman Distribution BESS drawings.

D	15/4/2025	Minor revisions to site layout; Landscape updated to suit.	CW
C	22/11/2024	Acoustic barrier height adjusted	CW
B	20/11/2024	Acoustic barrier added to typical section & elevation	CW

Rev	Date	Revision Note	By
6	15/4/2025	REVISED APPROVAL ISSUE	CW
5	22/11/2024	REVISED APPROVAL ISSUE	CW
4	20/11/2024	REVISED APPROVAL ISSUE	CW
3	3/6/2024	REVISED APPROVAL ISSUE	CW
2	8/5/2024	REVISED APPROVAL ISSUE	CW
1	26/11/2023	APPROVAL ISSUE	CW

Issue	Date	Issue Note	By
Surveyors			
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Structural Engineer:			
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Consulting Engineer			
Tel: eMail:			
Project Managers			
ACenergy Pty Ltd			
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Other:			
Mob: eMail:			
Proprietor			

Project

MURRUMBATEMAN
Distribution BESS
3 Turton Place Murrumbateman NSW

Drawing

Landscape Screening

Sheet 3 of 4

Local Authority Yass Valley Council, NSW

Scale As shown @ A1

Drawn CW Date 26 Nov 2023

Project #	Drawing #	Rev
23646	03	D

North

groundcontrol
Landscape Architecture Pty Ltd
ABN 53 776 078 327
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REVISED APPROVAL ISSUE - 15 April 2025

LANDSCAPE WORKS CONSTRUCTION NOTES:

1 WORKS BY CIVIL/OTHERS

All construction & civil works incl. demolition, building works, bulk earthworks, drainage infrastructure, road pavements, site electrical & battery facilities & associated infrastructure, fencing and other related works.

The civil contractor will ensure the following minimum depths of site topsoil are provided for the landscape works:

- Planting areas -- min. 150 mm depth site topsoil.
- Finished level of topsoil to be generally 100-150 mm above surrounding existing ground surface levels to ensure topsoil/planting areas are free from waterlogging during wet periods.

2 INSURANCES

Provide certificates of currency for Public Liability Insurance (min. \$20M) and Workcover insurance (min. \$20M) to the Superintendent prior to commencing works. Each certificate of currency shall note the Proprietor as an interested party.

3 ROAD OPENING PERMIT

Apply to the responsible authority for a road opening permit (if required), incl. the payment of all fees and charges re same. An approved copy of the approved road opening permit shall also be provided to the Superintendent prior to works commencing on site.

4 LANDSCAPE PRE-COMMENCEMENT MEETING

The Contractor shall Initiate, coordinate and attend a pre-commencement meeting with Council, Proprietor & Superintendent, incl. achieving compliance with all Council & specified requirements, checklists, insurances, approvals, etc.

5 TRAFFIC MANAGEMENT

If required, prepare and submit to the responsible authority a traffic management plan to their satisfaction, incl. the payment of all fees and charges re same. An approved copy of this plan shall also be provided to the Superintendent prior to works commencing on site. Implement approved traffic management plan during the duration of the Works on site.

6 LOCATE EXISTING SERVICES

Locate all existing services prior to commencing works, contacting Dial Before You Dig, the project civil engineers/contractor and/or the relevant authorities re same as required. Identify all overhead services prior to commencing works.

7 SET OUT THE WORKS

Accurately set the works out as per the documentation set.

8 SOIL TESTING

Undertake soil sampling & testing from an approved ag. soil testing laboratory, incl. seeking recommendations for fertilising planting zone to improve soil NPK balance, trace elements, etc. Any recommended adjustments must be made to improve the soil conditions for native tree & shrub planting.

9 PLANTING AREAS PREPARATION -- INITIAL

These works to be done ideally in LATE FEBRUARY/MARCH of the planting year:

- Eradicate broadleaf, woody and noxious weeds from all planting areas using selective, non-residual herbicides. Manual removal of larger woody weeds may be required -- inspect site to confirm extent.
- Rip along planting line to 2.0 m wide to min. 300 mm depth with a Yeomans/Keyline plough with tynes at max. 750 mm centres to break up/aerate natural subgrade and to relieve compaction, grade & level.
- Apply fertilisers and additives at rates recommended by soil test results.
- Cultivate planting lines to break up soil clods and provide an appropriate planting medium.
- DO NOT WORK WET SOIL. Remove any deleterious material brought to the surface, consolidate soil and grade surface to even grades, free of any depressions or undulations.

10 PLANTING AREAS PREPARATION -- SECONDARY

These works to be done ideally in APRIL/MAY of the planting year:

- Eradicate broadleaf, woody and noxious weeds from all planting areas using selective, non-residual herbicides. Manual removal of larger woody weeds may be required.
- Re-cultivate planting lines to break up soil clods and provide an appropriate planting medium.
- DO NOT WORK WET SOIL. Remove any deleterious material brought to the surface, consolidate soil and grade surface to even grades, free of any depressions or undulations.

11 PLANT SUPPLY

All plants shall be healthy, free from any pests or diseases, be attractive, well grown and well formed plant specimens and shall have a healthy, well formed root system commensurate in size with the foliage mass (root systems must not be pot bound). Plant container sizes shall be as listed in the detail planting schedule, but shall be min. hiko, ViroTube or 50 mm round/square pot size.

The planting contractor shall inspect all plants on delivery to site and shall certify in writing to the Superintendent that all plants supplied are as described above and are accepted by the planting contractor for planting in this project.

12 PLANTING

Set out plants as documented. Individual holes are to be dug (tree planter, mini-auger, etc.) in the prepared planting areas of sufficient size to easily accommodate the plant's root system and relieve any polishing. Create broad, shallow watering bowl to ALL plants to facilitate effective watering (min. 5 litre capacity). All plants shall be watered-in immediately after planting and at such times during the Contract period as is required to maintain growth free of water stress. Planting medium must be moist - do not plant into dry soil. Handle and plant all plants at all times in accordance with best horticultural practice.

13 FERTILISING

Refer maintenance section.

14 WEED MATS

Supply & install to each plant a 600 x 600 mm TreeMax or similar approved jute weed mat. Installation strictly to manufacturer's recommendations.

15 TREE/PLANT GUARDS

Supply & install to each plant Arborgreen 'Greenguard POP' 450 x 200 mm (sides): Code: 'GRGRDPOP-TRI' or similar approved 100% biodegradable tree guard, incl. 1 no. x 25 x 25 x 750 mm HWD stake per guard to all plants. Ensure stake extends min. 300 mm into ground. Installation strictly to manufacturer's recommendations.

16 GRASSING (IF REQUIRED)

Some areas of grass seeding may be required and will be directed and quantified by the Superintendent.

Do not sow seed in periods of extreme heat, cold or wet, or where wind velocities are excessive unless otherwise approved. Seed mix shall be as follows:

- TURF-TYPE REGENERATING PERENNIAL RYEGRASS 95% by count
- TURF-TYPE TALL FESCUE 3% by count
- SUB CLOVER 1% by count
- WHITE CLOVER 1% by count

Seeding rate shall be min. 30 gms per m2. Apply seed evenly -- seed application shall be via direct drilling or by other approved methods. Seeding shall be programmed when there is a period of anticipated weather conditions (i.e. rain) that will provide the best chance for germination of grass seed. Any areas affected by heavy rain, wind removing seed or other cause shall be re-seeded as specified to achieve an even cover of grass.

Slash grass when growth height has reached 100 mm or otherwise as directed by Superintendent. Should all the areas not require cutting at one time, complete all further cuts as necessary until 100% of the area has achieved successful coverage and all areas have received at least first cut.

17 PRACTICAL COMPLETION COORDINATION

The Contractor shall Initiate, coordinate and attend a Practical Completion meeting with Council, Proprietor & Superintendent, incl. achieving compliance with all Council & specified requirements, checklists, insurances, approvals, etc. NOTE: Min. 3 no. working days notice is required for a Practical Completion meeting.

18 LANDSCAPE ESTABLISHMENT MAINTENANCE PERIOD

Maintain the contract works from the Date of Practical Completion to the Date of Final Completion/hand-over.

Maintenance shall include care of the contract area by accepted horticultural practices, and rectification of any defects that become apparent during this period. Maintenance tasks to be carried out during the maintenance period shall include, but shall not be limited to, slashing, watering as required, weed control, pest & disease control & management, tree/plant guard adjustment/replacement as required, rubbish removal.

WEED CONTROL -- PLANTED AREAS:

In planted areas, poison all broadleaf, noxious & woody weeds as they appear. Slashable grasses are to be retained generally between planting rows. Selective herbicides shall be nominated by the Contractor and approved by the Superintendent prior to use. Non-selective herbicide shall be Monsanto 'Roundup BIACTIVE' glyphosate-based herbicide -- standard 'Roundup' is NOT to be used. NO OTHER HERBICIDE SHALL BE USED WITHOUT PRIOR APPROVAL. All herbicide applications shall use NuFarm 'Spraymate or similar approved marker dye admixture and shall be handled and applied strictly according to manufacturer's recommendations, recommended rates and directions.

GRASS MANAGEMENT -- PLANTED AREAS:

Slash all areas between plants in rows and min. 1.5 m along all outside edges of all planting zones on a regular basis to maintain grass height to max. 100 mm. Slashing shall comply with all local Council and RFS guidelines re grass heights.

JUTE MAT & TREE/PLANT GUARDS:

Maintain jute mat and tree/plant tree guards for first two summers minimum, repair and replace as required during this period.

PLANT REPLACEMENT:

Replace any failing, failed or dead plants during the maintenance period. The Superintendent and the Contractor will inspect the full planting areas at the end of each summer and will identify the number and species of plants that are failing, have failed/died. The Contractor shall replace all such plants identified.

WATERING:

The Contractor shall ensure all plants planted/maintained under this contract receive adequate (but not excessive) watering to maintain optimum growth and health. Watering shall be localised to each plant, not broad spraying across the entire planting area, to limit weed/grass growth between planting rows.

Watering shall be either manually via watercart/hose as required OR via a drip irrigation system, using Netafim 'UniRAM AS' inline dripline @ 1.6 LPH with emitter spacing of 400 mm -- one surface dripline per planting row. Drip irrigation system to be designed by an accredited irrigation designer and connect to an available clean water source, incl. filtration at source.

All plants shall be watered as required for at least the FIRST TWO SUMMERS to aid in establishment of healthy root systems and foliage growth, with further waterings if required during late spring and/or early autumn or at any other time of the year based on prevailing climatic conditions. Further waterings may be needed beyond this minimum establishment watering should prevailing climatic conditions deteriorate with potential to lead to deterioration of plant growth, health or plant deaths (e.g. severe drought, El Niño conditions, etc.).

FERTILISING:

All plants (excluding Proteacea family) shall be fertilised with Scotts 'Osmocote® Plus Trace Elements: Native Gardens' (NPK 21.8 : 0.7 : 7.2) or similar approved at the manufacturer's recommended rates. Fertiliser shall be locally spread on soil surface around plants during planting operations. If unsure which plants are in the Proteacea family -- ASK.

Allow for one fertiliser application in Year 1 and second application in Year 2.

PESTS & DISEASES:

Regularly monitor all plants grasses planted/maintained under this contract for evidence of pest and/or disease attack -- identify and treat any/all problems arising.

RABBITS, HARES, KANGAROOS, ETC.:

Identify any predation by rabbits, hares and other pests with potential to damage or destroy the landscape works under this contract. Take all necessary steps, within local authority regulations and/or guidelines, to limit or eradicate predation. Maintain all tree guards in good condition to limit rabbit/hare/kangaroo/other damage to plants with installed guards.

Notes

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This plan shall be read in conjunction with the ACEnergy Pty Ltd Murrumbateman Distribution BESS drawings.

B	15/4/2025	Minor revisions to site layout; Landscape updated to suit.	CW
A	8/5/2024	Fully revised to amended D-BESS site layout; Plant specings revised, plant schedule updated.	CW

Rev	Date	Revision Note	By
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6	15/4/2025	REVISED APPROVAL ISSUE	CW
5	22/11/2024	REVISED APPROVAL ISSUE	CW
4	20/11/2024	REVISED APPROVAL ISSUE	CW
3	3/6/2024	REVISED APPROVAL ISSUE	CW
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1	26/11/2023	APPROVAL ISSUE	CW

Issue	Date	Issue Note	By
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Surveyors

Tel: _____ eMail: _____
Structural Engineer:

Tel: _____ eMail: _____
Consulting Engineer

Project Managers

ACEnergy Pty Ltd

Mob: 0407 514 953 eMail: danny.will@acenergy.com.au

Other: _____

Mob: _____ eMail: _____
Proprietor



Project

MURRUMBATEMAN
Distribution BESS

3 Turton Place Murrumbateman NSW

Drawing

Landscape Specification
Notes

Sheet 4 of 4

Local Authority Yass Valley Council, NSW

Scale N.T.S.

Drawn CW Date 26 Nov 2023

Project #	Drawing #	Rev
23646	04	B

North



groundcontrol

Ground Control

Landscape Architecture Pty Ltd

ABN 53 776 078 327

PO Box 757 Mansfield Victoria Australia 3724

P 03 5779 1447 E gcla@groundcontrol.com.au

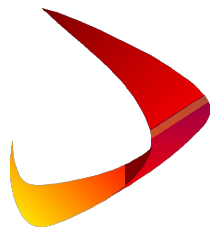
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REVISED APPROVAL ISSUE - 15 April 2025

FILE PATH:- C:\2d5\data\12d5\synergy\PO00874 Murrumbateman DBESS_16563_11. Engineering - Cw\10. Civil Site Design\PO00874 - Eng.dwg
DATE SHEET PRINTED:- (Monday, November 25, 2024)

3 TURTON PL,
MURRUMBATEMAN
NSW

ENGINEERING LAYOUT PLAN



Premise
Riverina

598 MACAULEY STREET, ALBURY
PHONE: (02) 6058-0100
64 HAMMOND AVE, WAGGA WAGGA
PHONE: (02) 6921-3312
3/15 FORD STREET, WANGARATTA
PHONE: (03) 5721-5688
WWW.PREMISE.COM.AU
ALBURY@PREMISE.COM.AU

AMENDMENTS\ACTIONS:-	DATE:
A. FOR DA - REV A	14/11/24
B. FOR DA - REV B	25/11/24
C.	
D.	
E.	
F.	
G.	
H.	

PLEASE NOTE :

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LIAISE WITH ALL SERVICING AUTHORITIES TO DETERMINE THE LOCATION OF ANY SERVICES PRIOR TO ANY EXCAVATION ON THE SITE. THE POSITION OF SERVICES ARE APPROX ONLY. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

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ONLY THOSE TREES & SHRUBS THAT ARE MARKED FOR REMOVAL SHALL BE REMOVED.

ALL TRENCHES IN LOTS/NATURE STRIPS ARE TO BE RESTORED WITH A MINIMUM OF 100mm THICK TOPSOIL.

THE FACE OF KERBS ABOVE CONDUIT LOCATIONS ARE TO BE MARKED WITH A NEAT 'E' 'W' 'G' AND 'T' AS APPROPRIATE.

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-MUNICIPAL AUTHORITY 1WEEK PRIOR TO COMMENCEMENT.
-SUPERINTENDENT 1WEEK PRIOR TO COMMENCEMENT.

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ONLY SPECIFIC PLANS TO BE USED FOR CONSTRUCTION OF SPECIFIC SERVICES.



FOR DA

DATE:- 25/11/2024

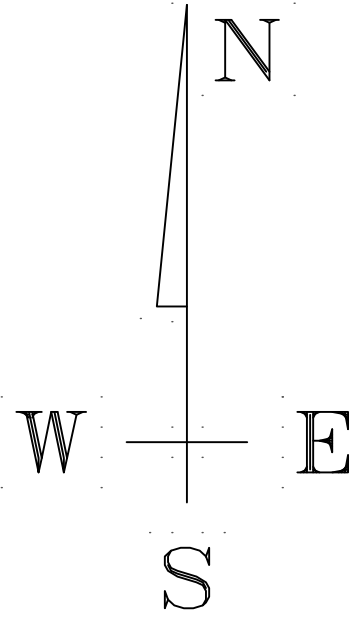
PREMISE CHECKED: DAMIEN DAKIN 25/11/24

AUTHORITY APPROVED:

DATUM:	DRAWN:	DATE:
A.H.D	N.SINGH	NOV-2024

PROJECT No:	REV: B
PO00874	

SHEET 01	OF 02	A1
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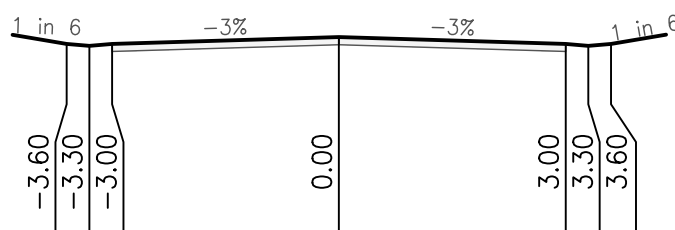
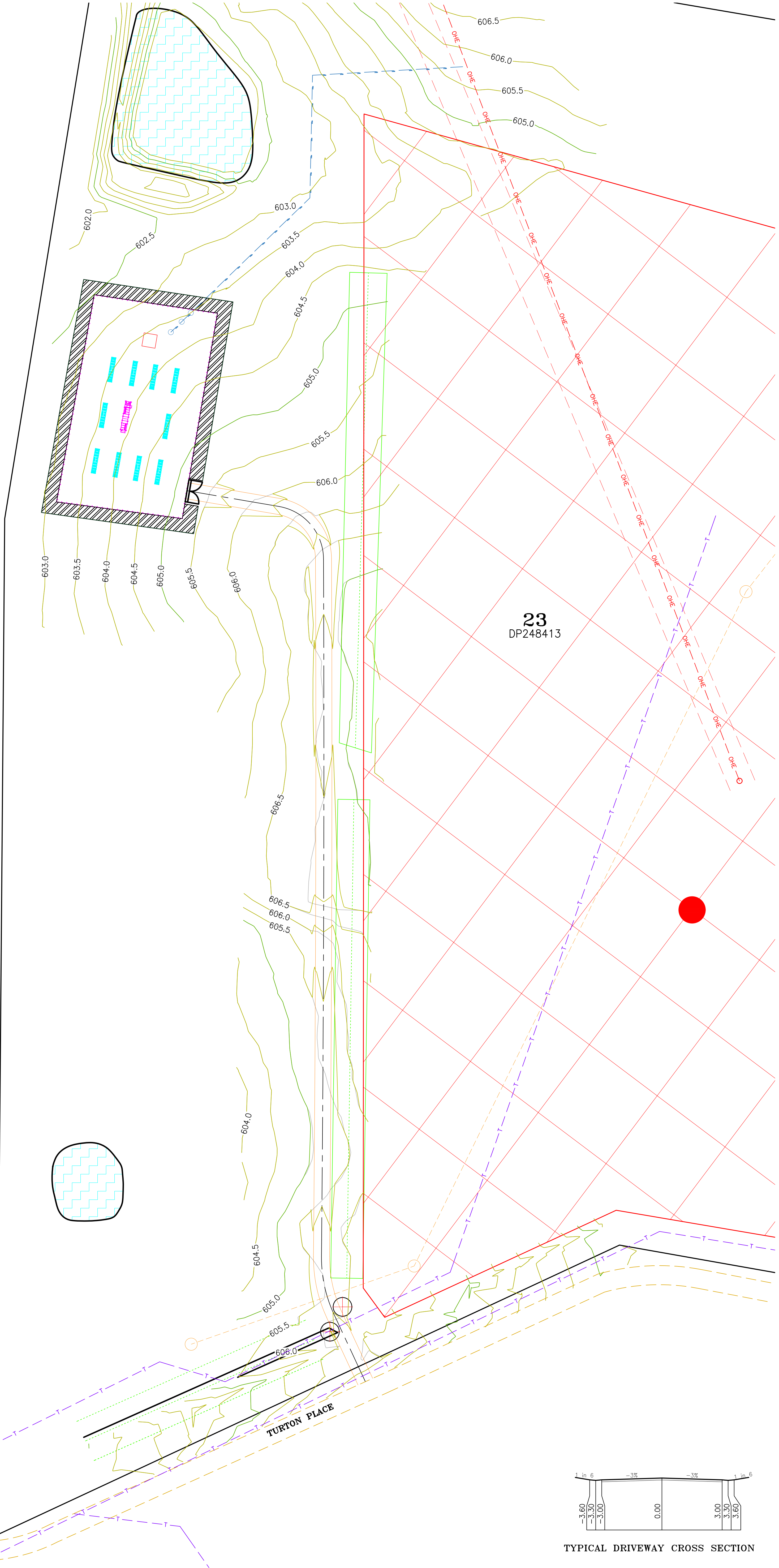
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EXISTING SERVICES

- D— EXISTING DRAINAGE
- S— EXISTING SEWER
- SRM— EXISTING SEWER RISINGMAIN
- W— EXISTING WATER
- G— EXISTING GAS
- T— EXISTING TELSTRA
- E— EXISTING POWER
- OHE— EXISTING OVERHEAD POWER
- UGE— EXISTING UNDERGROUND POWER
- ⊙ EXISTING TREE TO BE REMOVED. HOLES TO BACKFILLED AND COMPACTED TO 95% STD & COMPACTION TESTING

LEGEND

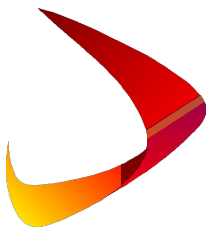
- EXISTING MINOR CONTOUR LINE
- EXISTING MAJOR CONTOUR LINE
- DESIGN MINOR CONTOUR LINE
- DESIGN MAJOR CONTOUR LINE



TYPICAL DRIVEWAY CROSS SECTION

3 TURTON PL,
MURRUMBATEMAN
NSW

BULK EARTHWORK PLAN



Premise
Riverina

598 MACAULEY STREET, ALBURY
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64 HAMMOND AVE, WAGGA WAGGA
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ALBURY@PREMISE.COM.AU

AMENDMENTS\ACTIONS:-	DATE:
A. FOR DA - REV A	14/11/24
B. FOR DA - REV B	25/11/24
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ONLY SPECIFIC PLANS TO BE USED FOR CONSTRUCTION OF SPECIFIC SERVICES.



FOR DA

DATE:- 25/11/2024

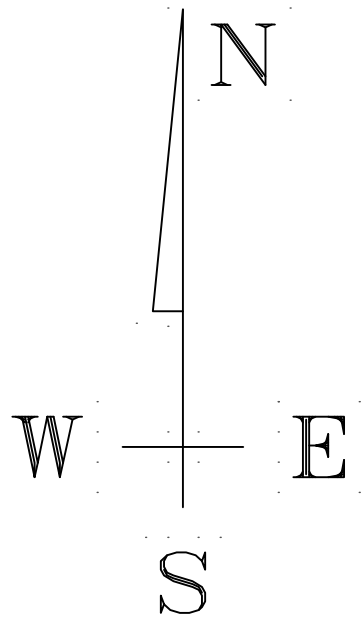
PREMISE CHECKED: 25/11/24

AUTHORITY APPROVED:

DATUM:	DRAWN:	DATE:
A.H.D	N.SINGH	NOV-2024

PROJECT No:	REV: B
P000874	

SHEET 02	OF 02	A1
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H7.5 0 15 30 45
SCALE 1:750 @ A1 1:1500 @ A3

EXISTING SERVICES

- D — EXISTING DRAINAGE
- S — EXISTING SEWER
- SRM — EXISTING SEWER RISINGMAIN
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- UGE — EXISTING UNDERGROUND POWER
- EXISTING TREE TO BE REMOVED. HOLES TO BACKFILLED AND COMPACTED TO 95% STD & COMPACTION TESTING

LOT CUT/FILL DEPTHS

- CUT DEPTH 2.00m - 1.00m
- CUT DEPTH 1.00m - 0.75m
- CUT DEPTH 0.75m - 0.50m
- CUT DEPTH 0.50m - 0.25m
- CUT DEPTH 0.25m - 0.05m
- FILL DEPTH 0.05m - 0.25m
- FILL DEPTH 0.25m - 0.50m
- FILL DEPTH 0.50m - 0.75m
- FILL DEPTH 0.75m - 1.00m
- FILL DEPTH 1.00m - 1.25m
- FILL DEPTH 1.00m - 1.50m
- FILL DEPTH 1.50m - 3.25m